



# **WORK IN PROGRESS: THE ROCK HOUSE ON EAST CROCKETT STREET**

**CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION HOMEOWNER FAIR**

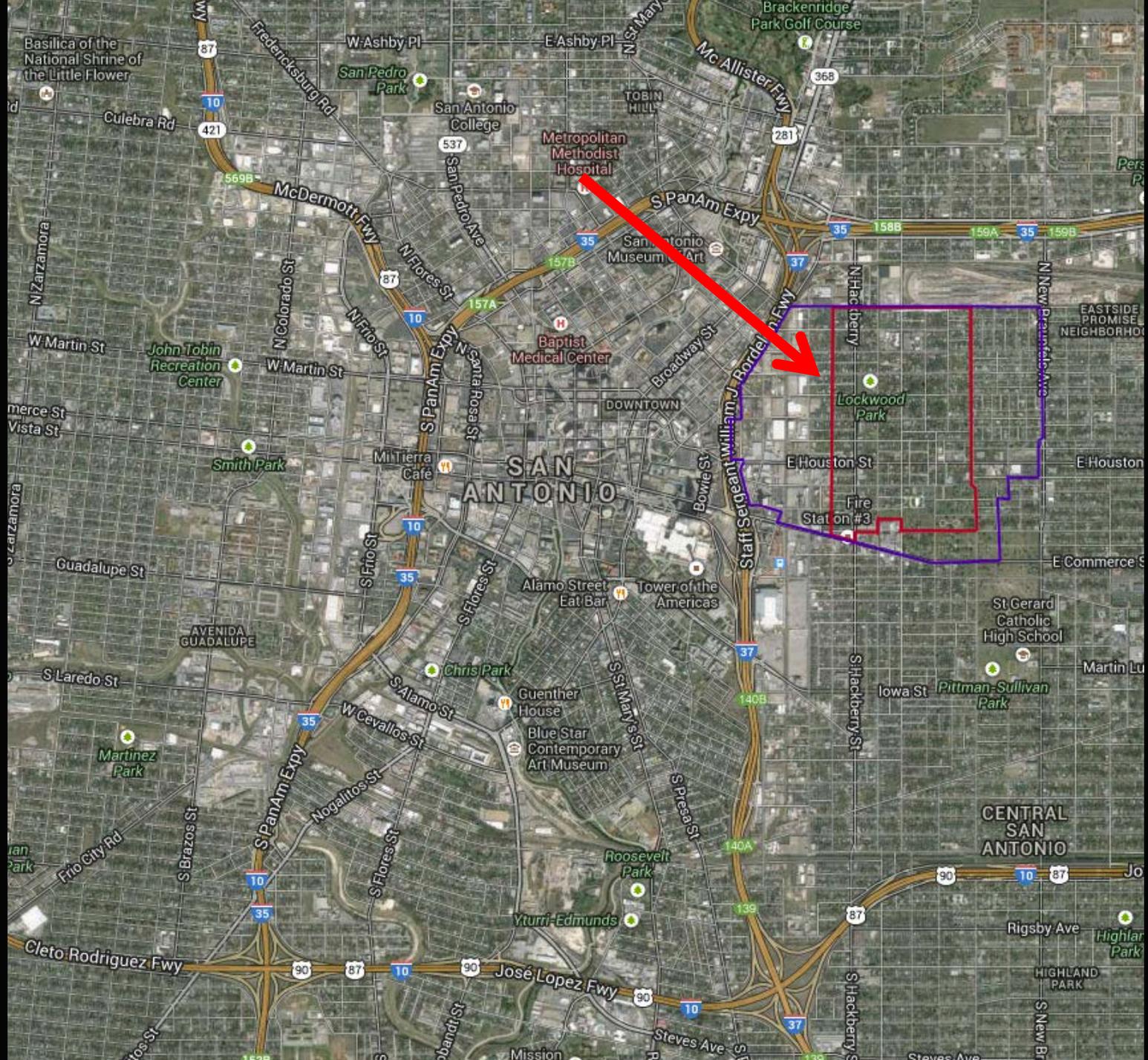
**SATURDAY, SEPTEMBER 27, 2014**



**CITY OF SAN ANTONIO  
OFFICE OF HISTORIC PRESERVATION**

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Potomac St



# OVERVIEW: WORK IN PROGRESS

## I. EXPLORATION + PLANNING

- Research
- Master Plan
- Budget

## II. PROJECT MANAGEMENT

- The Facts + The Plan
- Rainwater + Moisture Control
- Structural Topics

## III. Q + A

# **PART 1 - EXPLORATION + PLANNING**

- **Research**









Construct a, one story Rock house, on the property below, described, according to the plans and specifications therefor, marked Agnes Cotton's Estate, in the care and custody, of the second party of the first part. The said plans and specifications were made and taken to be true and correct, if they were copied by the second party of the first part, and it is the duty of the second party of the first part to furnish all the materials and labor for the erection and construction of said building; And it is mutually agreed between the parties hereto that Cotton and Horning, a firm composed of W. H. Cotton and L. A. Horning, builders and contractors shall erect and construct said building, according

WHO BUILT  
THE HOUSE?



Construct a, one story Rock house, on the property below, described, according to the plans and specifications therefor, marked Agnes Cotton's Esch  
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said plans and specifications  
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if they were copied  
party of the first  
is to furnish all the  
the, aforesaid plans  
struction of said building  
between the parties her  
composed, of W. H. Cotton and L. A. Hornung, builders and con-  
tractors shall erect and construct said building, according



**AGNES COTTON**  
1857-1922

# **PART 1 - EXPLORATION + PLANNING**

- **Research**
- **Master Plan**

# MASTER PLAN

**A MASTER PLAN IS KEY.**

**Our master plan is our “BIG PICTURE” and sets the direction for our work.**

**A master plan is essential when a project is large, unknowable, long-term or expensive.**

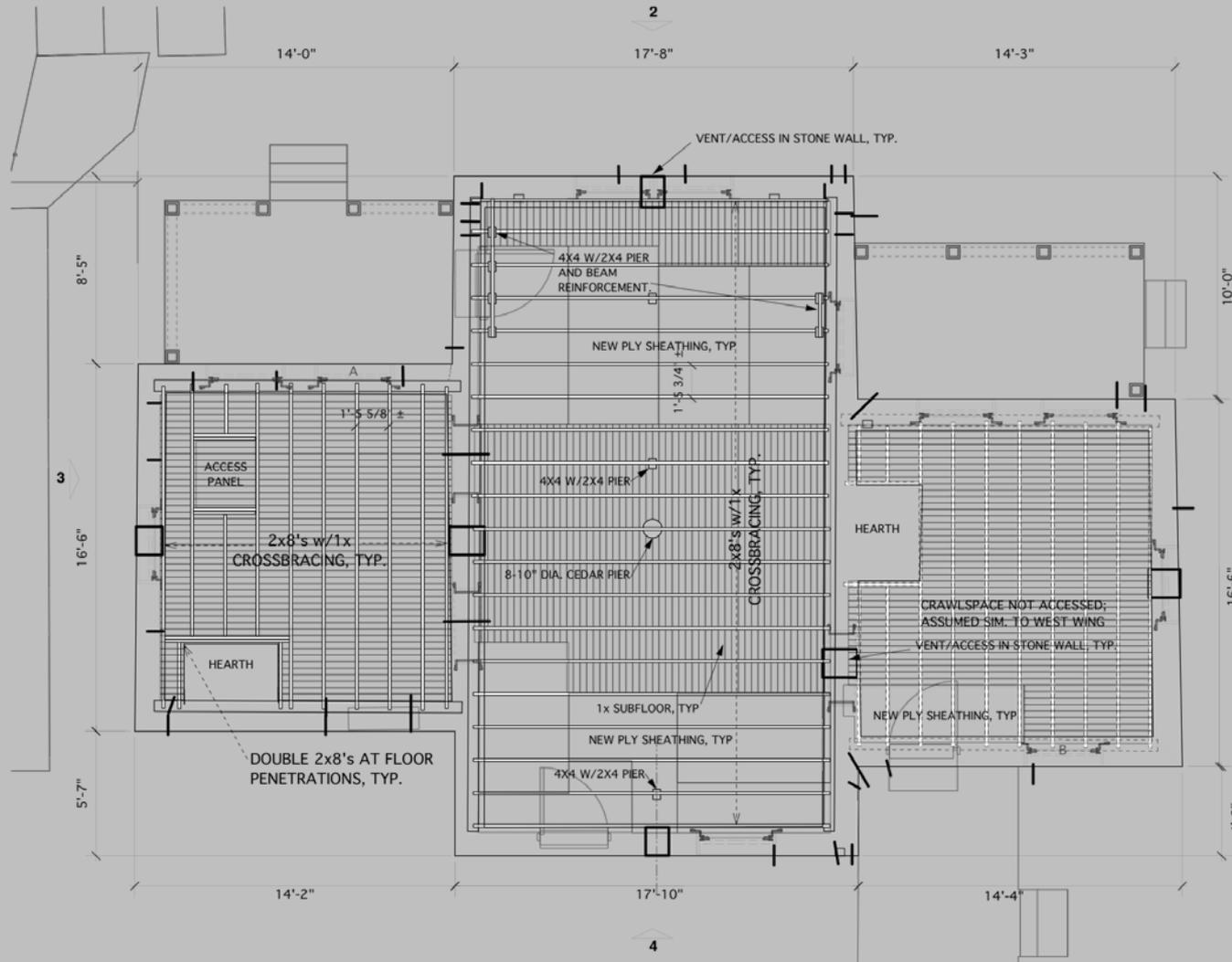
**Master planning creates “bite-sized” increments of work that coordinate with certain adjacent tasks, can be budgeted separately and have a defined timeline.**

- **consulted with Development Services, OHP and other entities;**
- **hired professionals and consultants;**
- **documented existing conditions.**
- **coordinated our goals with the physical condition of the existing building;**
- **subdivided the project into manageable phases.**

**1120 E. CROCKETT STREET  
SAN ANTONIO, TX 78202  
16 JULY 2013**

**NOTES:**

- CALICHE LIMESTONE PERIMETER BEAMS AND WALLS.
- EMBEDDED THROUGH-WALL WOOD NAILERS FOR WINDOW AND DOOR FRAMES.
- CALICHE LIMESTONE FIREPLACE AND FLUES, BRICK CHIMNEYS.
- FIREPLACE FORM CONTINUES THROUGH WOOD FLOOR STRUCTURE TO CRAWLSPACE GRADE.
- CRAWL SPACE APPEARS TO BE ALL STONE AND 24" - 36" HIGH.
- 2X8 FLOOR JOISTS, TYP.
- FLOOR JOISTS SITTING ON 2x FLAT WOOD AND STONE LEDGES WITH CALICHE PACKS AND 1x CROSS-BRACING BETWEEN EACH JOIST.
- ORIGINAL SUBFLOOR: 1x4 T+G BOARDS FASTENED WITH SQUARE NAILS, TYP.



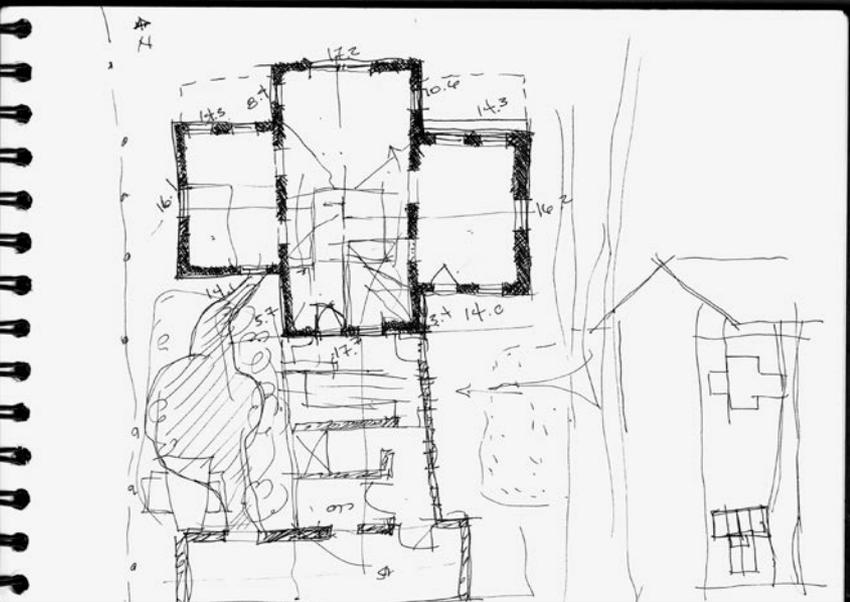
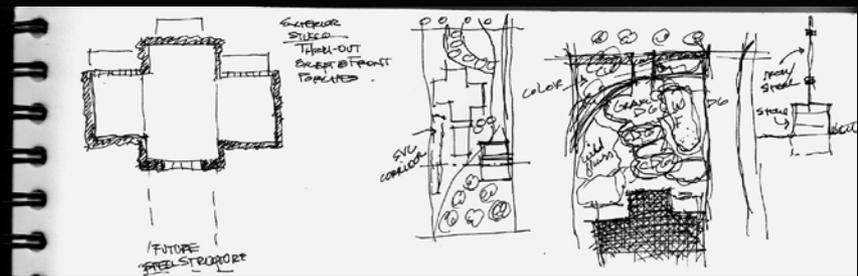
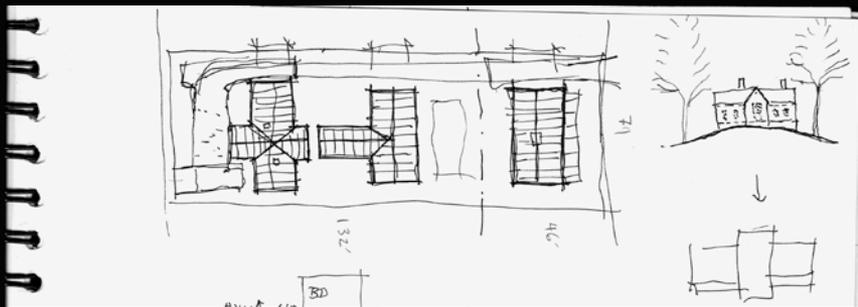
1  
CRACKS VISIBLE FROM EXTERIOR 1'-0" ABOVE BASE AND BELOW

CRACKS VISIBLE FROM CRAWLSPACE

VENT/ACCESS IN STONE WALL

**EXISTING**

**CRAWLSPACE**  
scale: 1/4" = 1'-0"



# PART 1 - EXPLORATION + PLANNING

- Research
- Master Plan
- **Budget**

# BUDGET

## 1120 CROCKETT STREET RESTORATION / REN

PROPOSED #####

### PHASE 1: Stabilization

CDs attached

#### GENERAL CONDITIONS \$180

Project Management	\$0		Savino Arch
Permits	\$0	fence, construction	City of SA INCRA <sup>D</sup>
Door	\$120	metal, locks	complete: Savino Arch
Security	\$60	cameras	complete: Savino Arch

#### ARCHITECTURE AND ENGINEERING #####

Topographic Survey	\$0	low tech	complete: Savino Arch
Soils Report	\$0	NA	
Structural Eng.	#####	budget	complete: Spark Engineering (\$3535 to-date)

#### SITework #####

Demolition	#####	conc., shrubs	complete: Hacienda Landscape
Grading	#####	excavation for positive drainage	Baltazar ?

# 1120 CROCKET STREET RESTORATION / REN

PROPOSED #####

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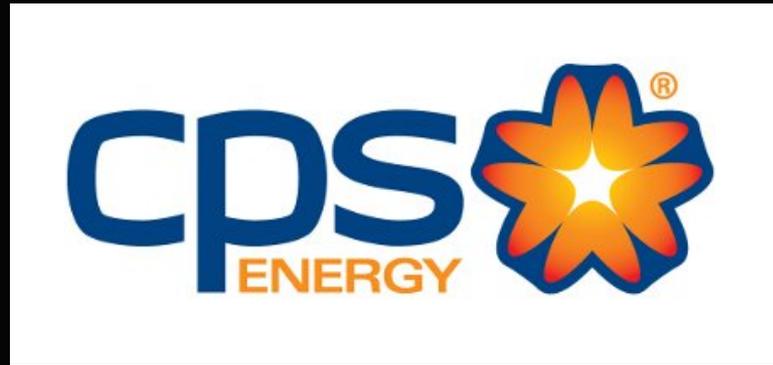
### SITework #####

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Grading	#####	excavation for positive drainage	Baltazar ?





**CONSIDER YOUR  
RESOURCES!**



## 1120 CROCKETT STREET RESTORATION / REN

PROPOSED #####

### PHASE 1: Stabilization

CDs attached

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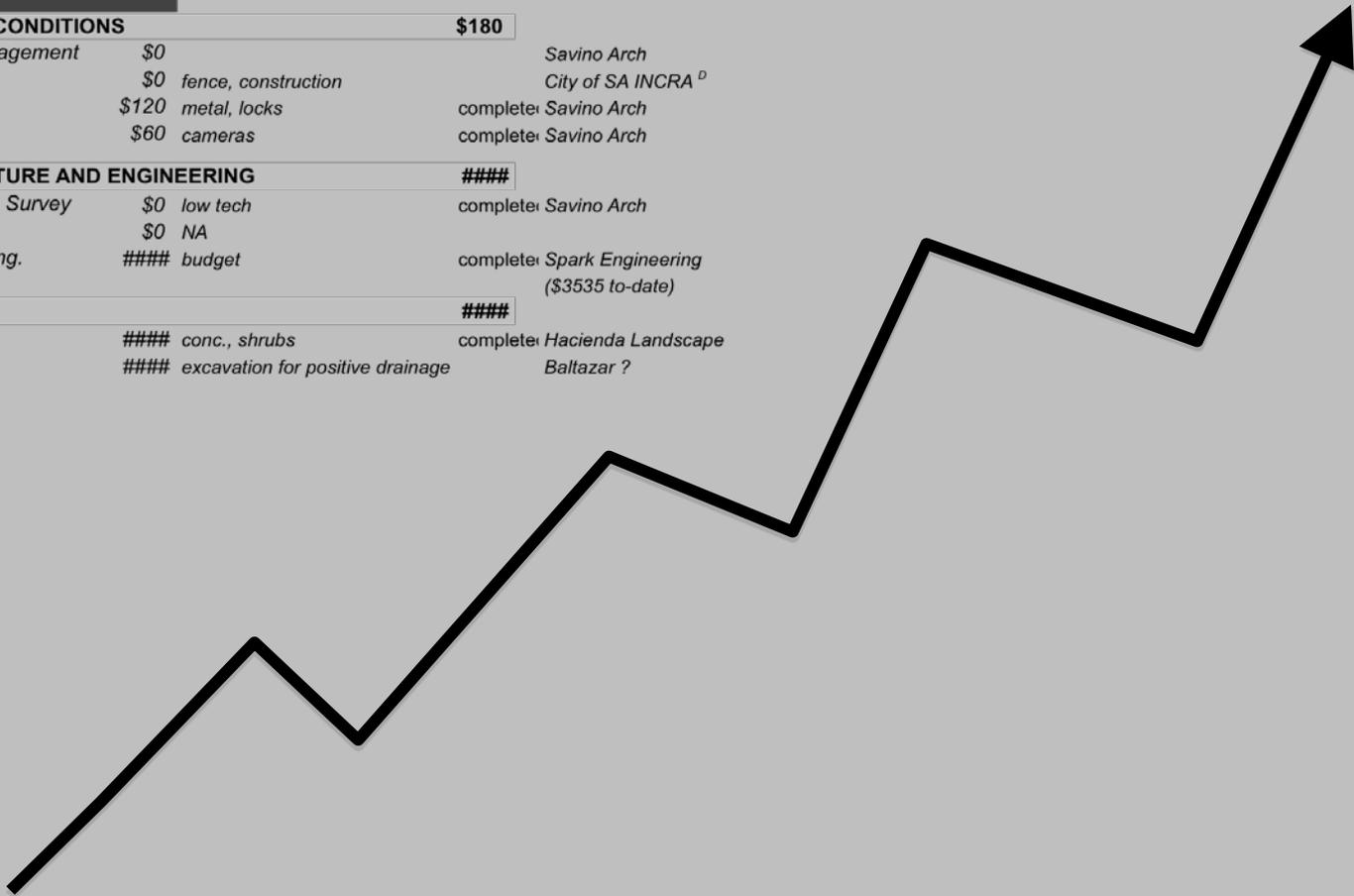
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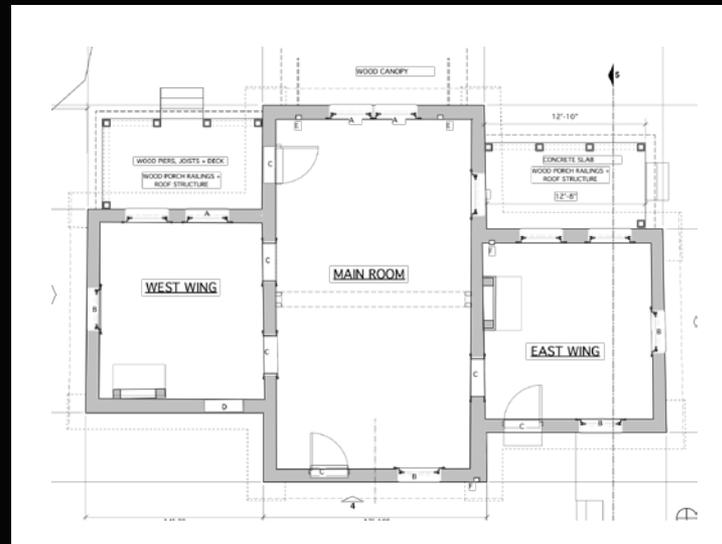
# **PART 2 - PROJECT MANAGEMENT**

- **The Facts + The Plan**

# THE FACTS













# THE PLAN

**MASTER PLANNING IS KEY.** Our master plan created realistic phases. Some projects are phased for “fast-tracking”. This project was phased for “slow-tracking”. Our many applications to OHP, HDRC and Building Permit were submitted by phase to allow the actual work to respond to the building’s requirements.

**PHASE 1 – SITE WORK**

**PHASE 2 – STRUCTURAL WORK**

**PHASE 3 – EXTERIOR REHABILITATION**

**PHASE 4 – INTERIOR SYSTEMS**

**PHASE 5 – INTERIOR FINISHES**

**PHASE 6 – LANDSCAPE**

# **PART 2 - PROJECT MANAGEMENT**

- **The Facts + The Plan**
- **Rainwater + Moisture Control**



before



before

# **RAINWATER + MOISTURE CONTROL**

**MITIGATION IS CRITICAL.** Decades of “improvements” and lack of structural maintenance have created drainage problems and have compromised the structure’s stability and durability.

- **No structures “like” moisture. Crockett Street needed positive drainage;**
- **Removed surrounding debris including shrubs + concrete;**
- **Stone doesn’t like great moisture fluctuations, and surfaces don’t like moisture + water exposure; and**
- **Repaired roofs, cornices + will install gutters for water control.**



during



during

# **PART 2 - PROJECT MANAGEMENT**

- The Facts + The Plan
- Rainwater + Moisture Control
- **Structural Topics**



# STRUCTURAL TOPICS

**STONE + WOOD.** Stone is good in compression and wood is good in tension and compression. Hybrid systems must be structurally balanced ( $\Sigma=0$ ).

- tend to fall outward.

- need tension members: interlocking stone, wood or steel.

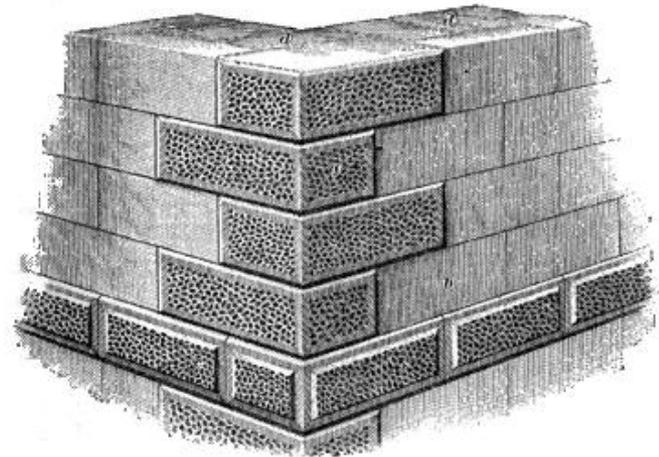
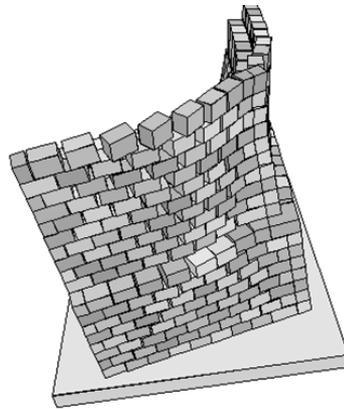
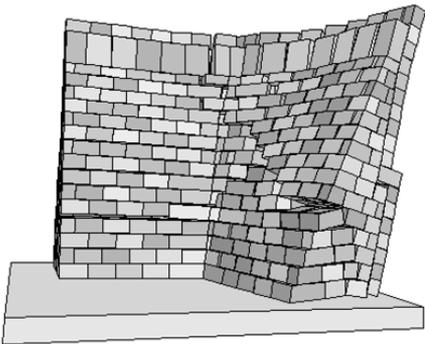
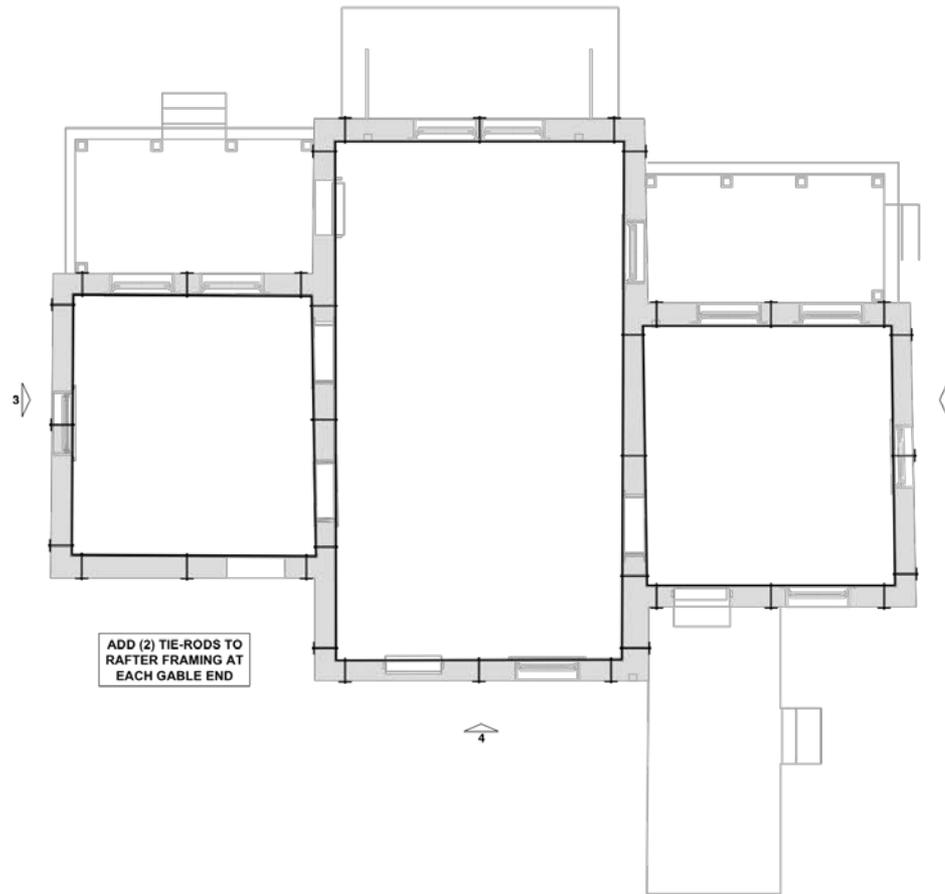


FIG. 26

# THE CONCEPT



1112 Crockett

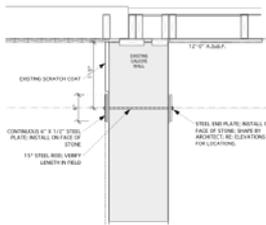
SPARKS ENGINEERING, INC.  
STRUCTURAL EVALUATION, DESIGN, AND TESTING

SOUTH ELEVATION LOOKING NORTH

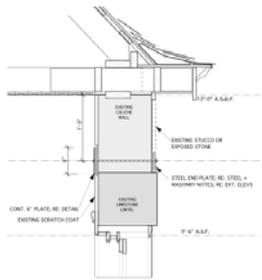
OPTION B: PLATES WITH THRU-BOLTS

- reinforced roof structure;
- steel tie rods and continuous steel plates;
- rebuilt floor in main room and reinforced joists and mortared masonry sills throughout the house.

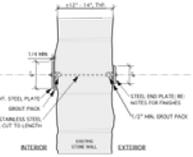




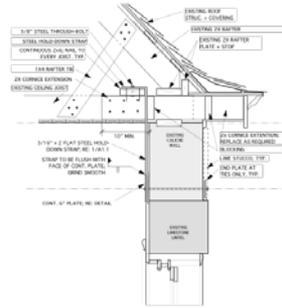
**2 SECTION DTL / INT. WALL, TYP.**  
1 1/2" = 1'-0"



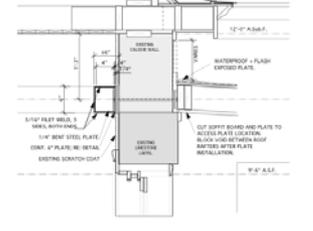
**3 SECTION DTL / EXT. WALL, TYP.**  
1 1/2" = 1'-0"



**4 SECTION DTL / STONE WALL @ TIES AND PLATES, TYP.**  
1 1/2" = 1'-0"



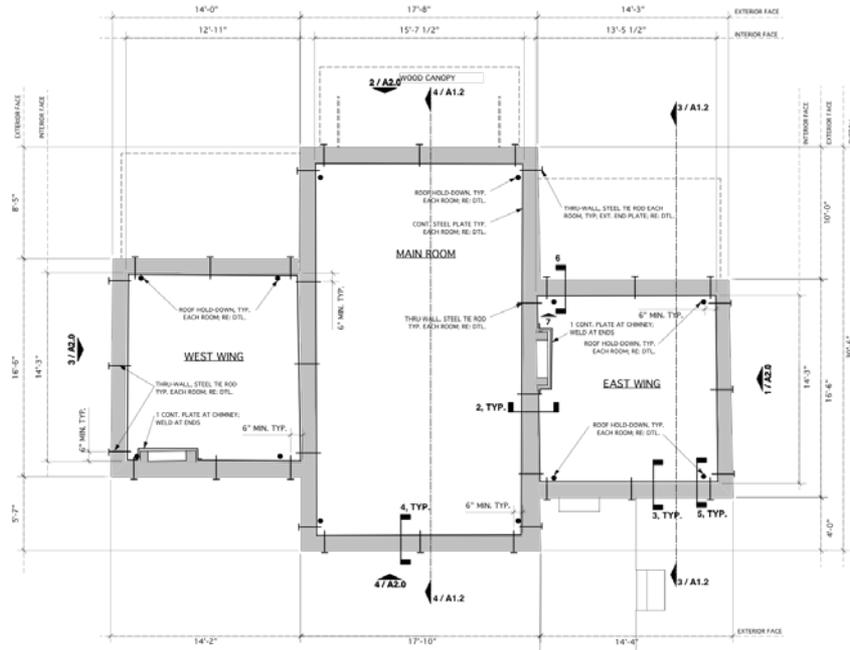
**5 SECTION DTL / @ ROOF HOLD-DOWN (SAME DETAIL AS 8 / A1.2)**  
1 1/2" = 1'-0"



**6 SECTION DTL / @ PORCH + INT. WALL**  
1 1/2" = 1'-0"



**7 PLAN DTL / @ PORCH + INT. WALL**  
1 1/2" = 1'-0"



**1 FLOOR PLAN**  
1/4" = 1'-0"

- GENERAL NOTES:**
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2015 INTERNATIONAL BUILDING CODE (IBC).
  - ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
  - ALL DIMENSIONS SHALL BE UNLESS OTHERWISE NOTED.
  - ALL WALLS SHALL BE 8\"/>

- PERMITS AND REGULATIONS:**
- ALL PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2015 INTERNATIONAL BUILDING CODE (IBC).
  - ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
  - ALL DIMENSIONS SHALL BE UNLESS OTHERWISE NOTED.
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**CROCKETT STREET HOUSE**  
1120 EAST CROCKETT STREET  
SAN ANTONIO, TEXAS 78202

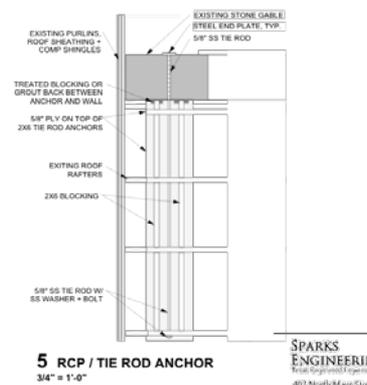
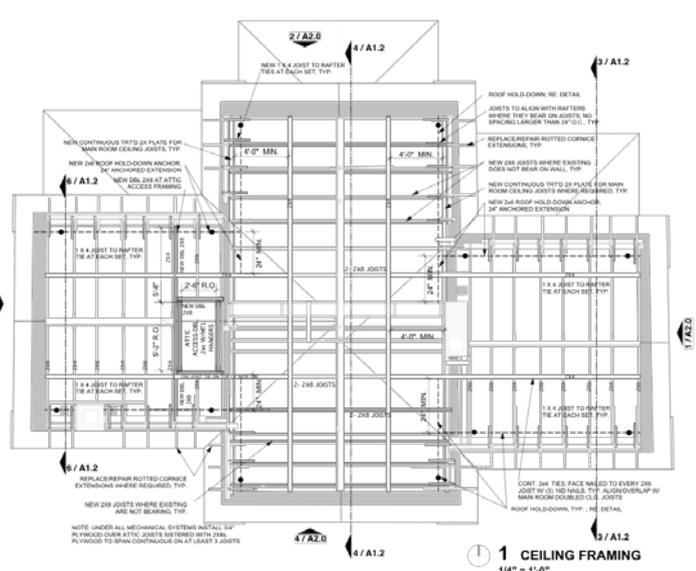
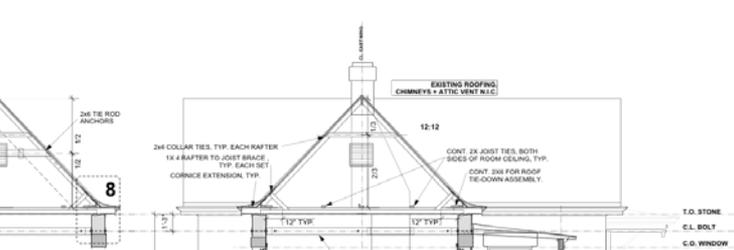
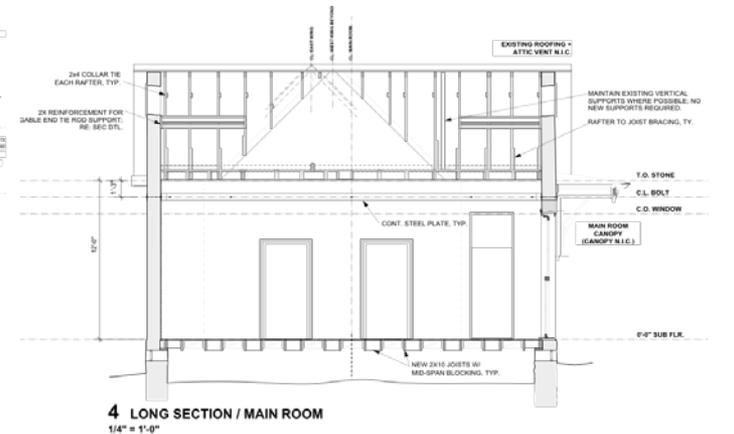
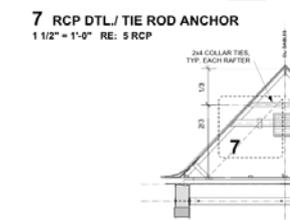
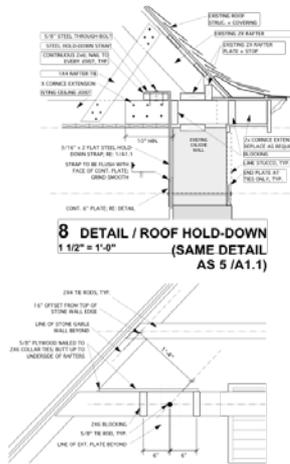
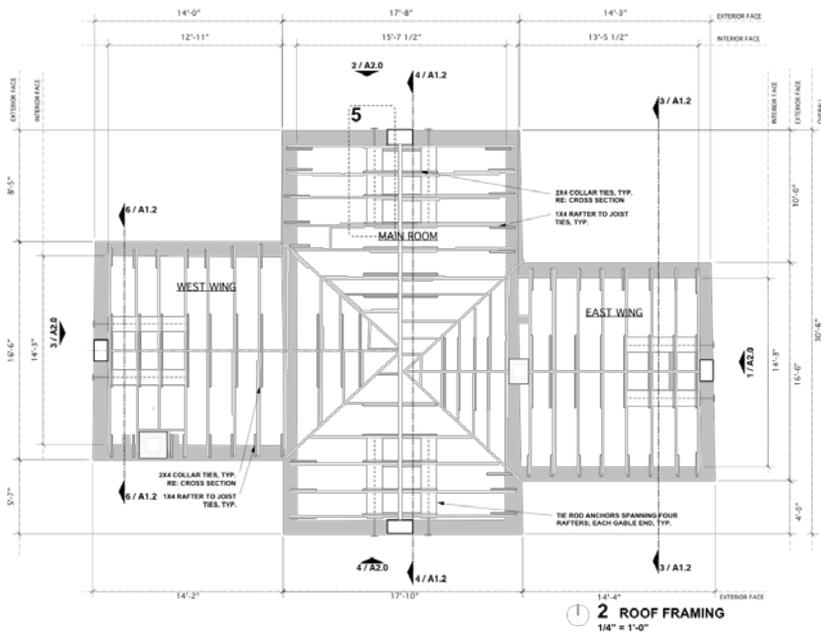
SCALE: AS NOTED  
RECORD: AUG 27 2013 FOR PERMIT AND CONSTRUCTION  
SEPT 19 2013

**MASONRY + STRUCTURAL STEEL**

**A 1.1**

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on other projects, except by agreement in writing from the Architect and with appropriate compensation to the Architect.

The Architect is not responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Project. Do not scale drawings; contact Architect in case of discrepancy.



**CEILING + ROOF PLANS; DETAILS; BUILDING SECTIONS**

**A 1.2**

NOTE:  
SEE A1.0 CRAWLSPACE PLANS + DETAILS FOR WOOD FRAMING, SHEATHING, REPAIR AND GENERAL CONSTRUCTION NOTES.



**CROCKETT STREET HOUSE**  
1120 EAST CROCKETT STREET  
SAN ANTONIO, TEXAS 78202

SCALE: AS NOTED  
RECORD: AUG 27 2013 FOR REVIEW  
SEPT 19 2013 FOR PERMIT AND CONSTR.

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4915 North Mays Street  
Rowland, Texas 76664  
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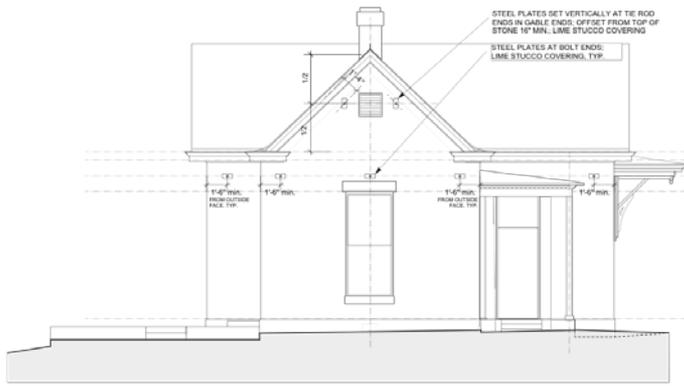
**SAVINO ARCHITECTURE LLC**  
Monica Savino  
713 • 231 • 7871  
1302 Know Street  
Houston, Texas 77007  
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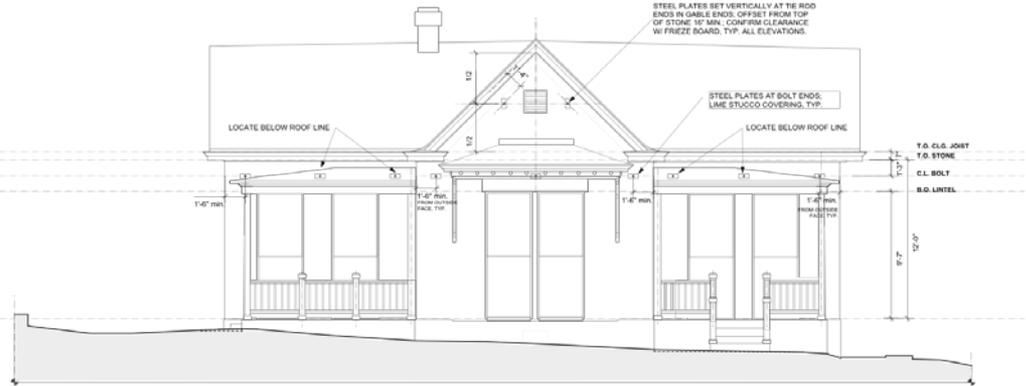
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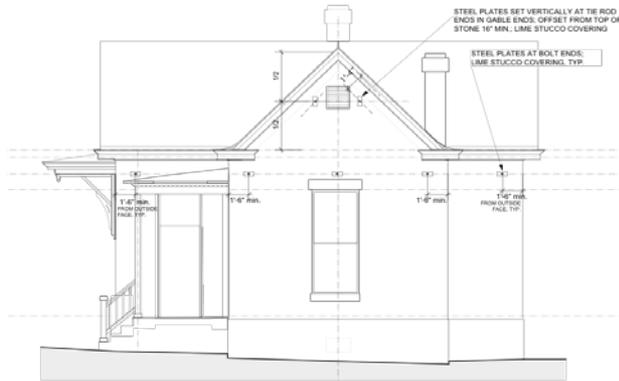
# THE PROCESS – DOCUMENTS FOR OHP / HDRC REVIEW



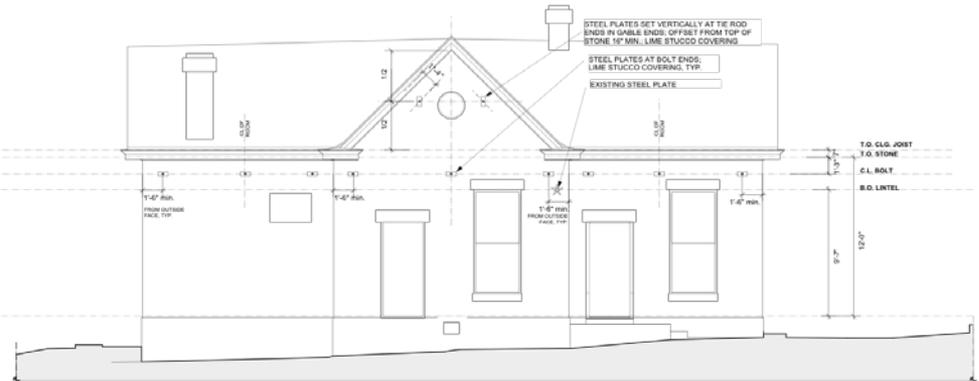
**1 EAST ELEVATION**  
1/4" = 1'-0"



**2 NORTH ELEVATION**  
1/4" = 1'-0"



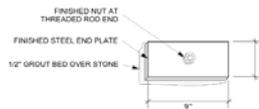
**3 WEST ELEVATION**  
1/4" = 1'-0"



**4 SOUTH ELEVATION**  
1/4" = 1'-0"

**GENERAL NOTES:**

1. ALL EXTERIOR ARCHITECTURAL ELEMENTS SHOWN ARE EXISTING.
2. EXISTING WOOD ARCHITECTURAL ELEMENTS ARE NOT IN CONTRACT AND ARE TO BE REPAIRED, REPLACED OR REHABILITATED UNDER SEPARATE SUBMITTAL AND PERMIT.
3. STAR SHAPED PLATE ON THE SOUTH ELEVATION IS EXISTING.
4. RE: ELEVATIONS FOR PLATE NUMBERS AND LOCATIONS.
5. RE: DETAIL FOR PLATE DESIGN.
6. RE: NOTES A1.1 FOR MATERIAL SPECIFICATIONS



**5 PLATE DETAIL**  
NTS

**EXTERIOR ELEVATIONS**

**A 2.0**

PAGE

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**CROCKETT STREET HOUSE**  
1120 EAST CROCKETT STREET  
SAN ANTONIO, TEXAS 78202

SCALE: AS NOTED  
RECORD: JUL 29 2013 HDRC TAX CERT. REVIEW  
AUG 30 2013 HDRC REVIEW - NOT FOR CONSTRUCTION  
SEPT 19 2013 FOR PERMIT - CONSTRUCTION

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during



during



during

# THE PLAN

~~PHASE 1 – SITE WORK~~

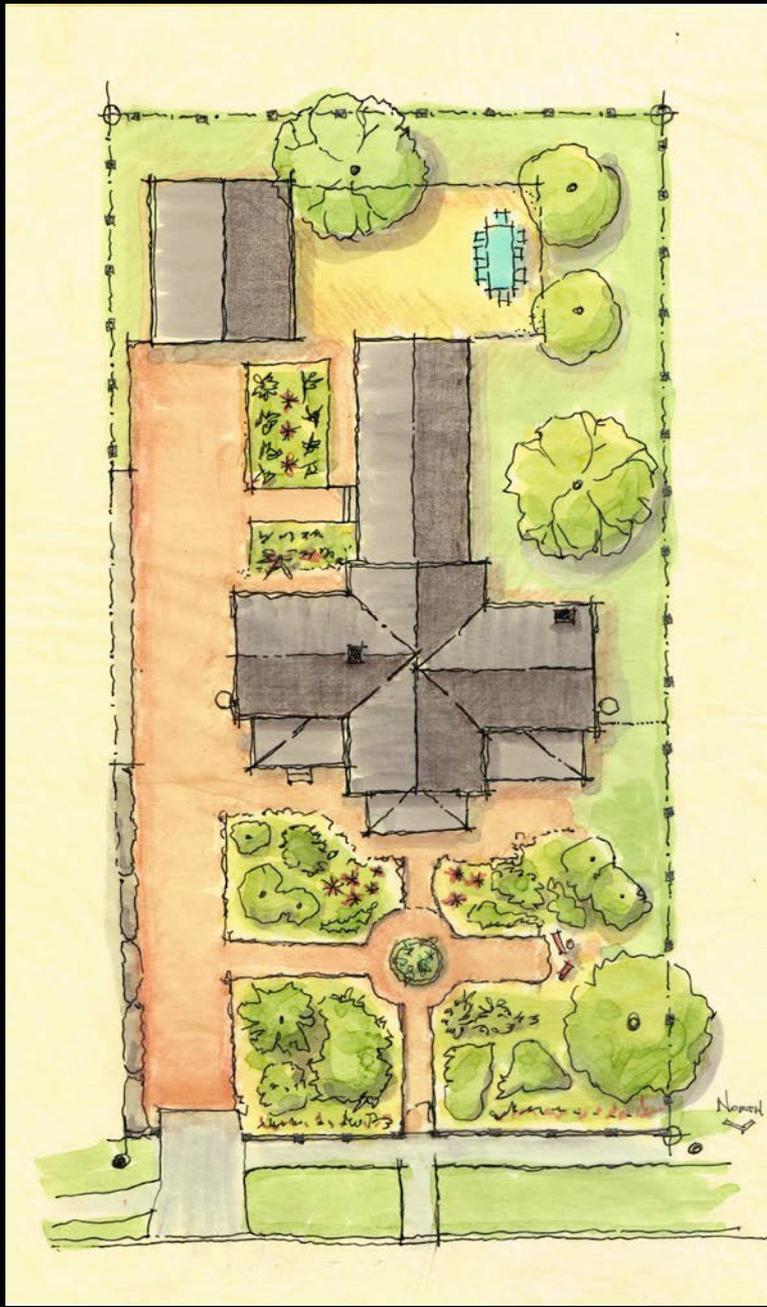
~~PHASE 2 – STRUCTURAL WORK~~

PHASE 3 – EXTERIOR  
REHABILITATION

PHASE 5 – INTERIOR FINISHES

PHASE 6 – LANDSCAPE





## MASTERPLAN AND BUDGET IN ACTION















# CLOSING THOUGHTS

- Establish long-term goals
- Research
- Budget
- Hire professionals
- Master plan
- Manage the project
- Review goals periodically
- Stay motivated!
- Create a home + bring an historic structure back into the community



**TO BE CONTINUED . . . . .**

**[CrockettStreetHouse.Wordpress.com](http://CrockettStreetHouse.Wordpress.com)**



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SAVINO  
ARCHITECTURE

**Monica Savino**

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**1120**

e. crockett street